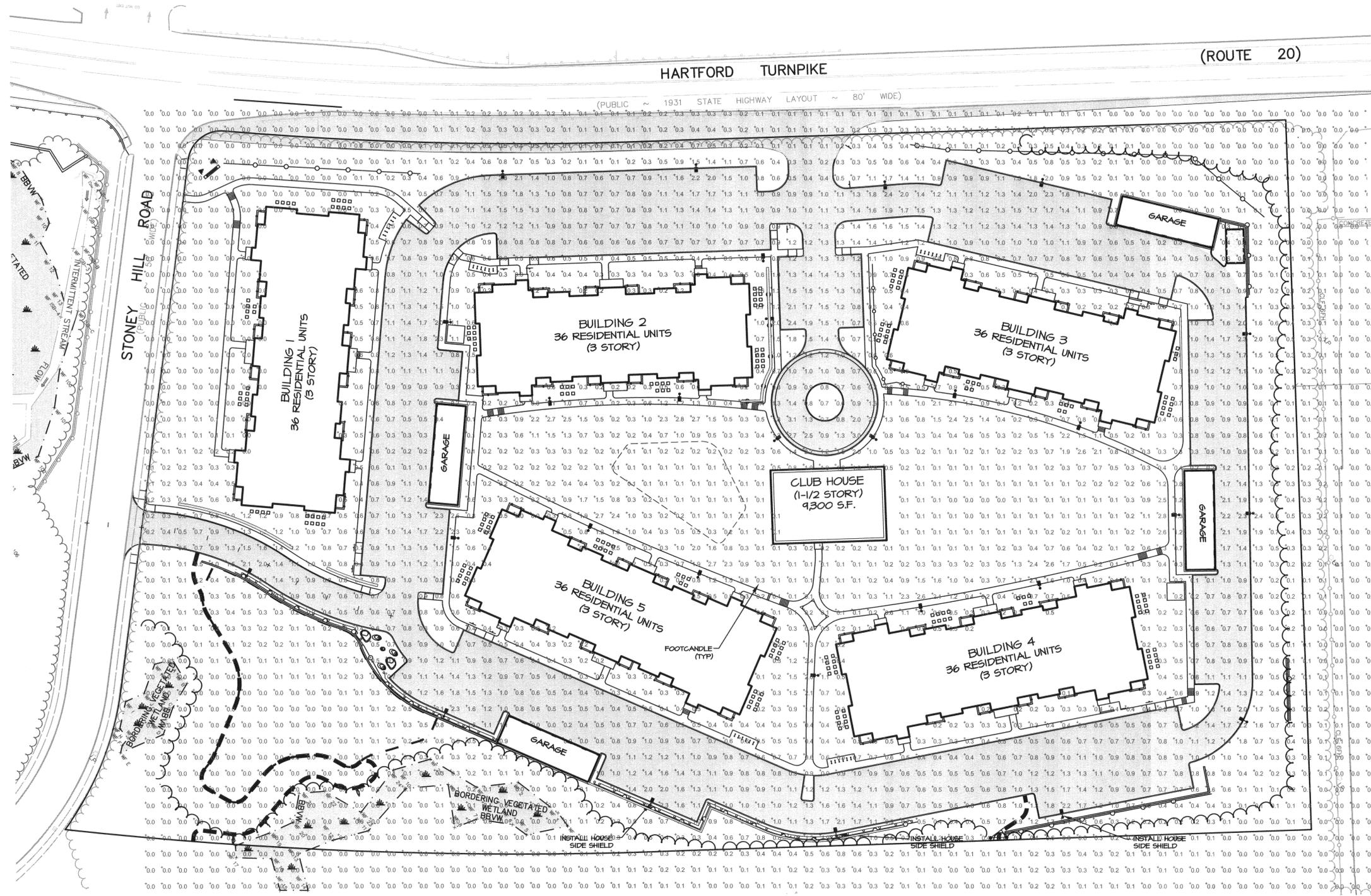
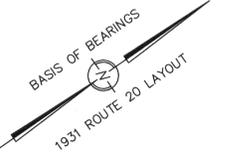


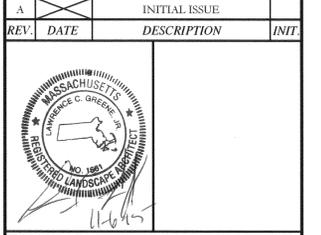
**PLAN NOTES:**

1. SEE SHEET C0.00 FOR GENERAL NOTES, REFERENCES AND LEGEND.
2. PHOTOMETRIC ANALYSIS PERFORMED BY HALOPHANE IN OCTOBER 2015.



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PREPARED FOR:  
**SMART GROWTH DESIGN, LLC**  
 625 South Street  
 Shrewsbury, MA 01545

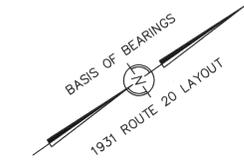
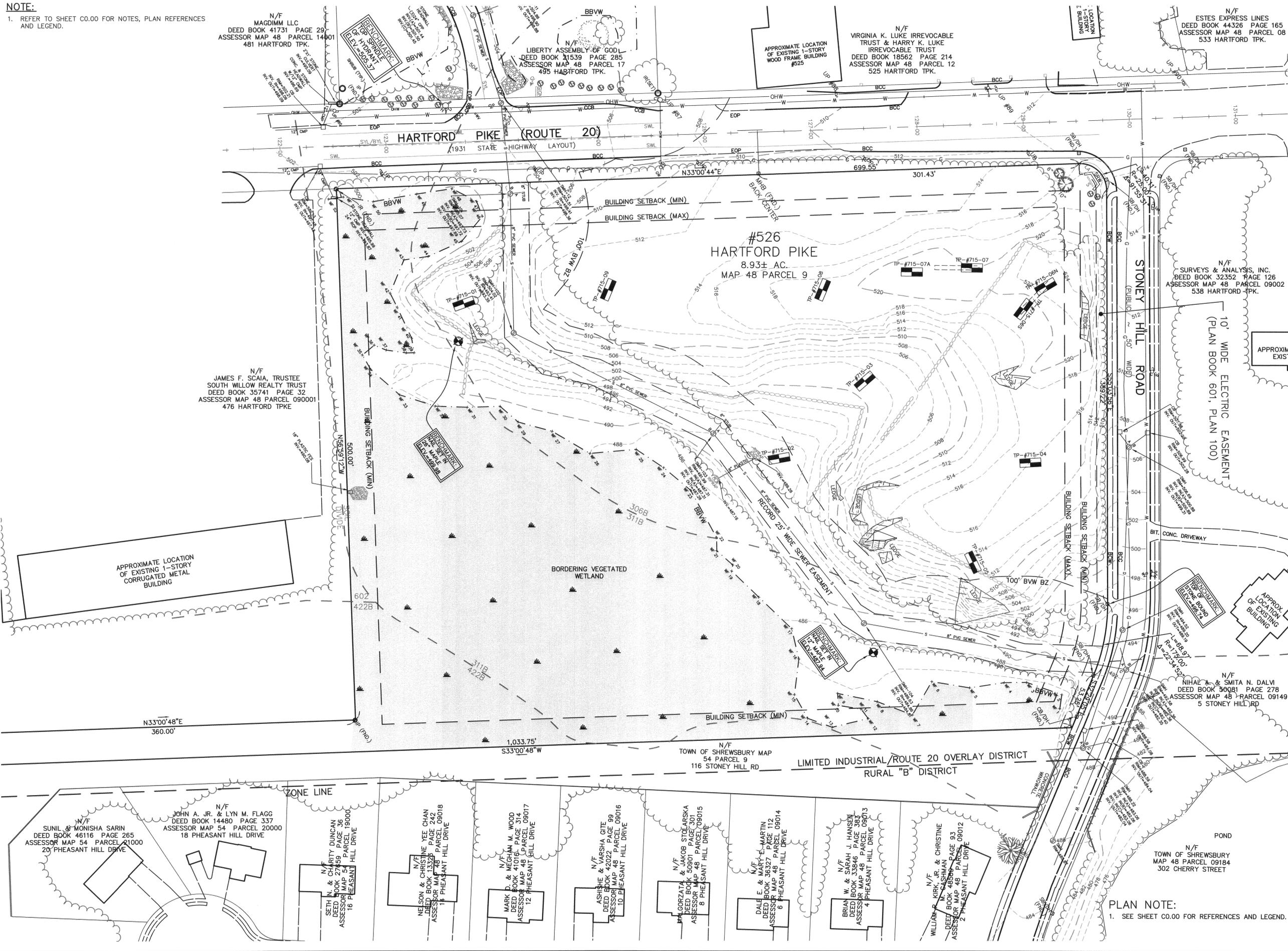
TITLE:  
**PHOTOMETRIC PLAN**  
**THE POINTE AT HILLS FARM**  
 Shrewsbury, MA  
 (Worcester County)  
 COMPREHENSIVE PERMIT

0 40 80 120	
DATE:	11/06/15
JOB NO.:	0927.01
FILE NO.:	0927400
DRAWING NO.:	0927402A
SCALE:	1" = 40'
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CHK'D. BY:	
SHEET:	
<b>C1.05</b>	

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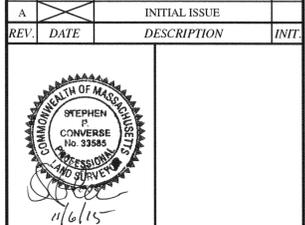
**NOTE:**

1. REFER TO SHEET C0.00 FOR NOTES, PLAN REFERENCES AND LEGEND.



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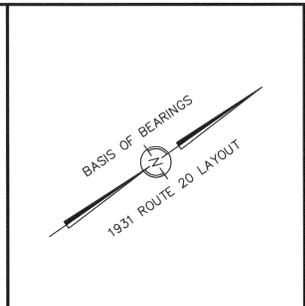
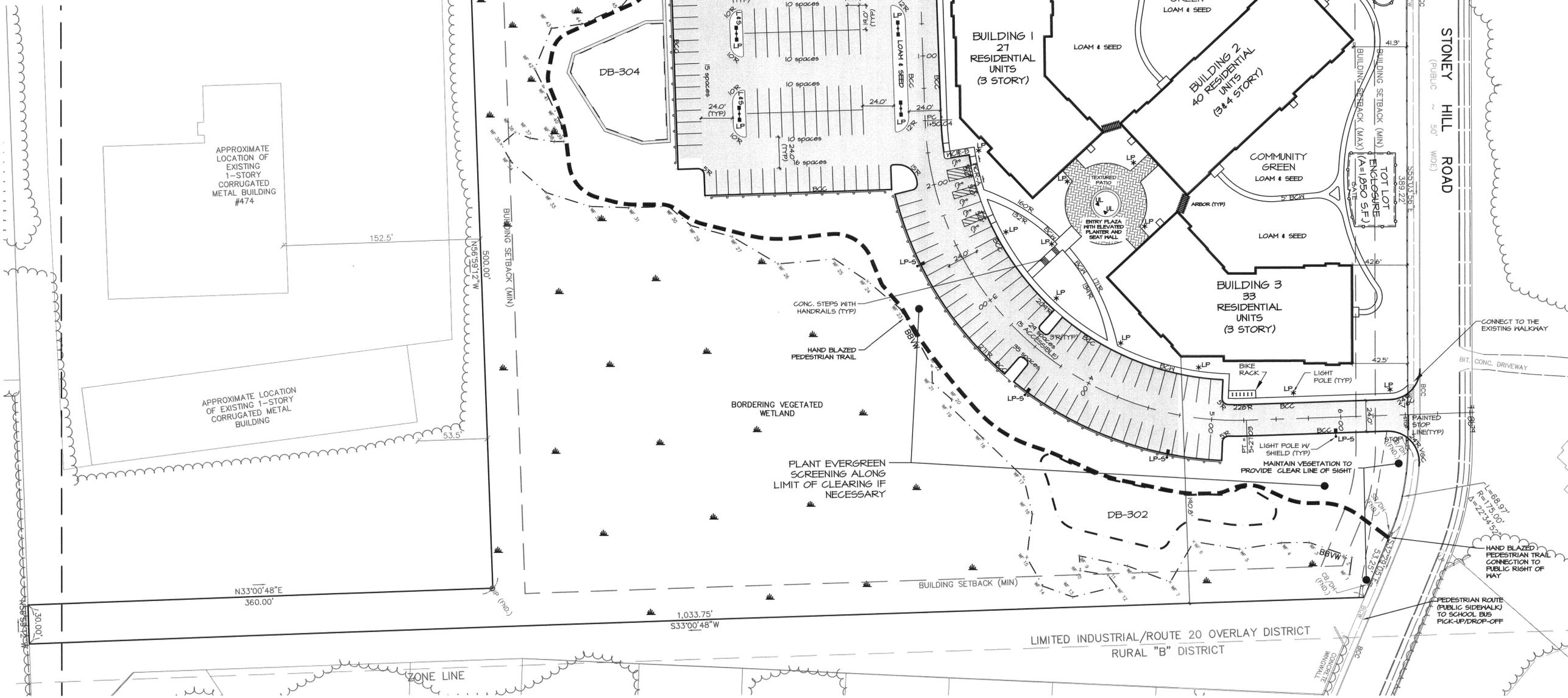
TITLE:  
**EXISTING CONDITIONS PLAN**  
**526 HARTFORD PIKE (PHASE II)**  
 Shrewsbury, MA (Worcester County)  
**COMPREHENSIVE PERMIT**

DATE:	11/06/15	SCALE:	1" = 40'
JOB NO.:	0927.01	DWN. BY:	
FILE NO.:	0927900	CHK'D. BY:	
DRAWING NO.:	0927903A	SHEET:	C2.00

**PLAN NOTE:**  
 1. SEE SHEET C0.00 FOR REFERENCES AND LEGEND.

**LAYOUT & MATERIAL NOTES:**

- SEE SHEET C0.00 FOR REFERENCES AND LEGEND.
- ALL SETBACK LINES AND DIMENSIONS ARE PARALLEL TO OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO ENGINEER OF RECORD PRIOR TO CONSTRUCTION.
- DIMENSIONS OF PARKING SPACES AND WALKWAYS ARE MEASURED FROM FACE OF CURB.
- EACH ACCESSIBLE PARKING SPACE SHALL BE IDENTIFIED BY A SIGN LOCATED AT THE BACK OF SIDEWALK. THE SIGN SHALL CONTAIN THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AS DESCRIBED IN THE AMERICANS WITH DISABILITIES ACT, PUBLIC LAW 101-366, AND DETAILED IN THE FHWA/USDOT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AS AMENDED.
- FACE OF GUARDRAILS ARE TO BE LOCATED A MINIMUM OF 2'-0" FROM FACE OF CURB IN PARKING AREAS.
- ALL CURBING ALONG THE RADIUS AT THE STREET INTERSECTIONS OR SITE ENTRANCES IS TO BE GRANITE CURBING. THE DISTANCE OF THE ARCS OF THE CURVES PLUS A STRAIGHT SECTION AT EACH END OF EIGHT FEET (8').



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Professional Engineer seals for Stephen Converse and Michael Scott, State of Massachusetts, License No. 37585 and License No. 4985 respectively.

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PREPARED FOR:  
**SMART GROWTH DESIGN, LLC**  
 625 South Street  
 Shrewsbury, MA 01545

TITLE:  
**LAYOUT & MATERIALS PLAN (PHASE II)**  
 526 HARTFORD PIKE (PHASE II)  
 Shrewsbury, MA (Worcester County)

COMPREHENSIVE PERMIT

DISTRICT:	LIMITED INDUSTRIAL	ROUTE 20 OVERLAY DISTRICT	PROVIDED
USE	REQUIRED	REQUIRED	REQUIRED
LOT AREA (MIN.)	80,000 S.F.	40,000 S.F.	308,911 S.F. +/-
FRONTAGE (MIN.)	50'	150'	100' +/- (HARTFORD PIKE) 522' +/- (STONEY HILL ROAD)
FRONT YARD (MIN.)	50'	25'	41' +/- (RESIDENTIAL BLDG)
FRONT YARD (MAX.)	N/A	40'	141' +/- (RESIDENTIAL BLDG)
SIDE YARD (MIN.)	50'	25'	51' +/- (GARAGE) 52' +/- (RESIDENTIAL BLDG)
REAR YARD (MIN.)	N/A (CORNER LOT)	N/A (CORNER LOT)	N/A (CORNER LOT)
OPEN SPACE (MIN.)	20%	25%	12%
LOT COVERAGE (MAX.)	50%	35%	10%
IMPERVIOUS COVER (MAX.)	N/A	65%	22%
BLDG HEIGHT (MAX.)	50'	40'	SEE ARCHITECTURAL PLANS
NUMBER OF STORIES (MAX.)	4	3	4 (SEE ARCHITECTURAL PLANS)

USE	REQUIRED	PROVIDED
RESIDENTIAL*	1.5 SPACES / UNIT x 100 = 150 SPACES	151 (SURFACE)
ACCESSIBLE PARKING (HP) SPACES		
TOTAL PARKING SPACES	REQUIRED	PROVIDED
101 TO 150	5	5
VAN ACCESSIBLE		
1 PER 8 ACCESSIBLE SPACES	1	2

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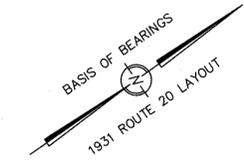
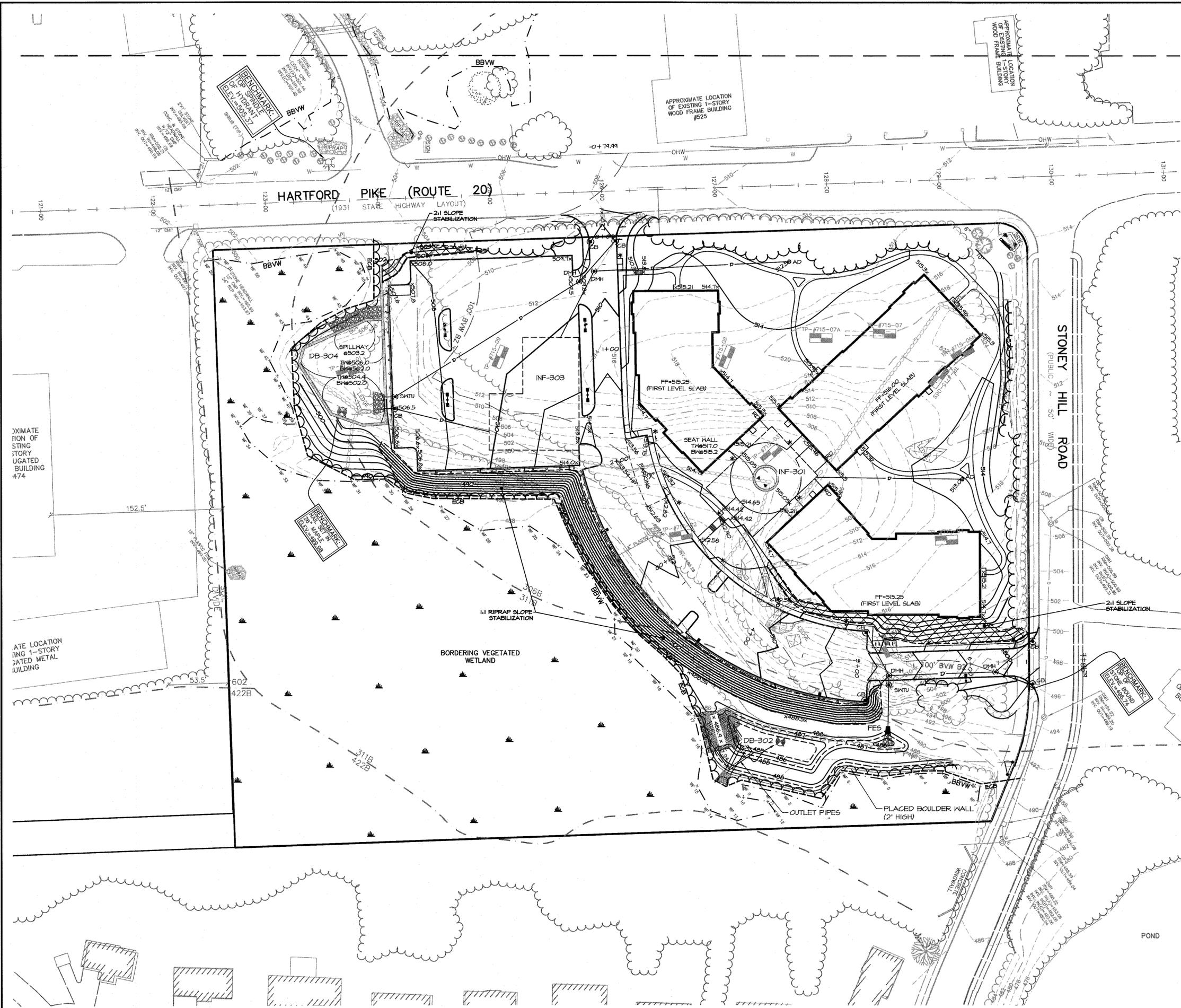
Scale: 1" = 40'

DATE: 11/06/15 SCALE: 1" = 40'

JOB NO.: 0927.02 DWN. BY:

FILE NO.: 0927200 CHK'D. BY:

DRAWING NO.: 0927204A SHEET: **C2.01**

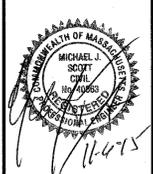


**GRADING & DRAINAGE NOTES:**

1. SEE SHEET 60.00 FOR NOTES AND REFERENCES.
2. LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND ARE APPROXIMATE AND ASSUMED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES THAT ARE NOT DEPICTED HEREON. BEFORE COMMENCING SITE WORK, CONTRACTOR SHALL CALL "DIG SAFE" AT 1-800-344-7233 (PER 220 CMR 94) AND LOCAL MUNICIPAL UTILITY DEPARTMENTS TO ACCURATELY LOCATE UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY APPROPRIATE UTILITY COMPANIES / DEPARTMENTS OF ANY UTILITIES DAMAGED DURING CONSTRUCTION. NO EXCAVATION SHALL BE PERFORMED UNTIL ALL UTILITY COMPANIES HAVE BEEN NOTIFIED. ANY COSTS RELATED TO THE REPAIR OF UTILITIES DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
3. CONTRACTOR SHALL OBTAIN PERMIT(S) FOR TRENCH EXCAVATION (PER 520 CMR 14).
4. PRIOR TO CONSTRUCTION AN EROSION CONTROL BARRIER (ECB) SHALL BE PROVIDED AT THE EDGE OF THE DEVELOPMENT AREA AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE ECB THROUGHOUT ALL PHASES OF CONSTRUCTION.
5. ALL DISTURBED AREAS SHALL BE LOAMED (SIX INCHES DEPTH) AND SEEDED (SUITABLE GRASS SEED MIX) UNLESS OTHERWISE SPECIFIED ON THE PLANS.
6. EXISTING PAVEMENT SHALL BE SAW CUT, AND NEW PAVEMENT SHALL BE BLENDED SMOOTHLY TO MEET CUT EDGES.
7. ALL UTILITY COVERS, GRATES, HATCHES, ETC., SHALL BE FLUSH WITH THE PAVEMENT FINISHED GRADE.
8. FINAL GRADES SHALL BE PITCHED EVENLY BETWEEN SPOT ELEVATIONS.
9. ALL SLOPES IN ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2% IN ANY DIRECTION (PER 521 CMR 23.4.3).
10. ALL SLOPES IN ACCESSIBLE WALKWAYS SHALL NOT EXCEED 5% (PER 521 CMR 22.3) AND SHALL NOT HAVE A GROSS SLOPE OF MORE THAN 2% (PER 521 CMR 22.3.1).
11. RETAINING WALL(S) TO BE DESIGNED BY OTHERS. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ENGINEERED STRUCTURAL DRAWINGS FOR RETAINING WALL(S) WHERE REQUIRED BY CODE, INCLUDING BUT NOT LIMITED TO THE STATE BUILDING CODE (180 CMR, SECTIONS 105.2 and 1807.2).
12. CONTRACTOR SHALL CONFIRM DEPTH(S) OF FERTILE UTILITIES BY TEST PIT AND NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
13. ALL ITEMS NOTED FOR REMOVAL AND DISPOSAL, AS WELL AS THOSE ITEMS DISCOVERED DURING EXCAVATION THAT REQUIRE REMOVAL AND REPLACEMENT, SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND MUST EITHER BE RECYCLED OR DISPOSED OF OFF SITE ACCORDING TO APPLICABLE REGULATIONS (810 CMR 7.18 & 11 AND 453 CMR 6). CONTRACTOR IS RESPONSIBLE FOR OBTAINING NECESSARY PERMITS FOR DEMOLITION, HAULING AND DISPOSING OF SAID MATERIALS.

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PREPARED FOR:

**SMART GROWTH DESIGN, LLC**

625 South Street  
 Shrewsbury, MA 01545

TITLE:

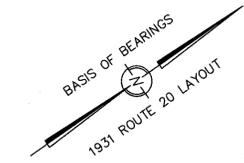
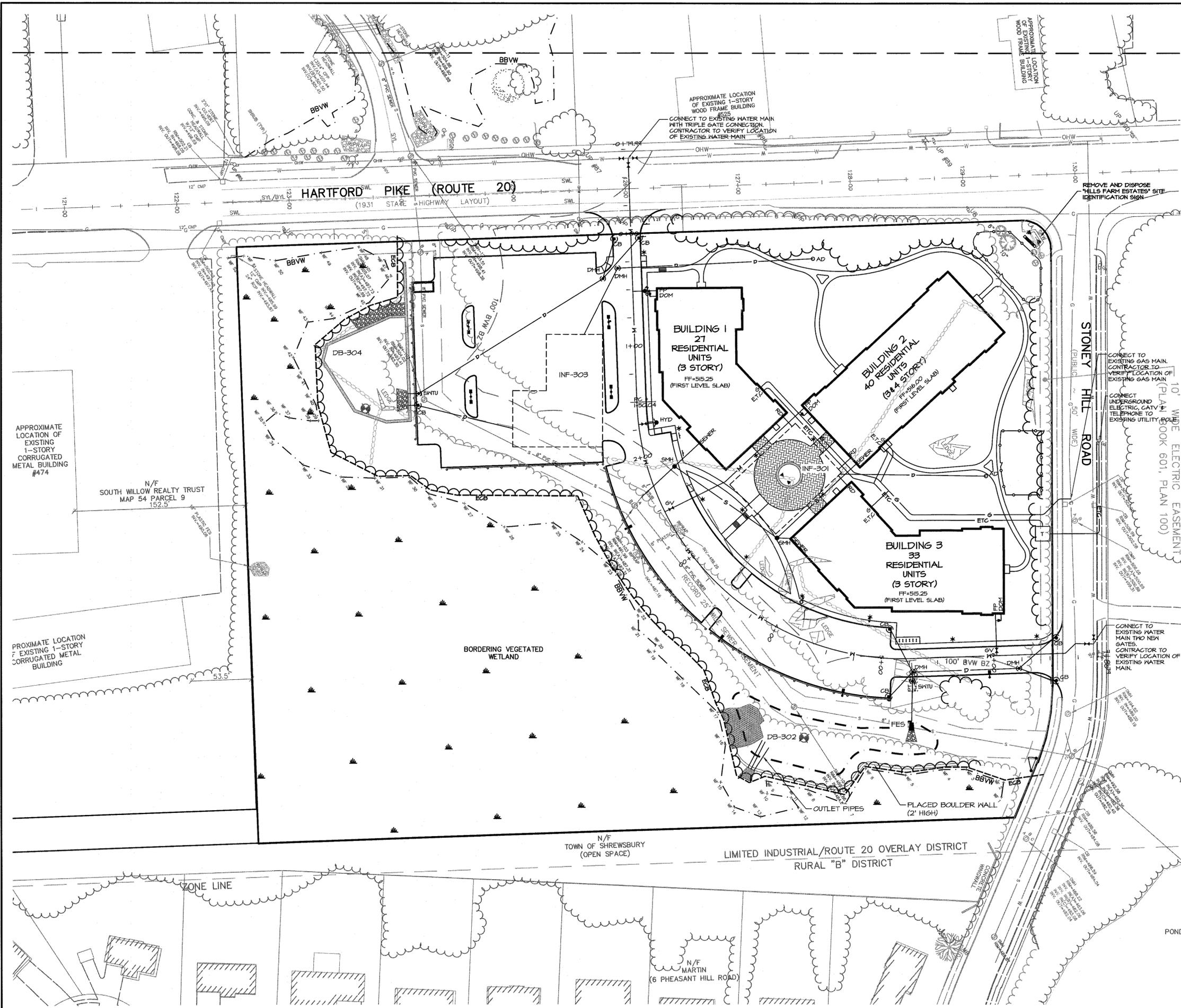
**GRADING AND DRAINAGE PLAN (PHASE II)**

**THE POINTE AT HILLS FARM**  
 Shrewsbury, MA (Worcester County)

COMPREHENSIVE PERMIT

DATE:	11/06/15	SCALE:	1" = 40'
JOB NO.:	0927.00	DWN. BY:	
FILE NO.:	0927300	CHK'D. BY:	
DRAWING NO.:	0927303A	SHEET:	<b>C2.02</b>

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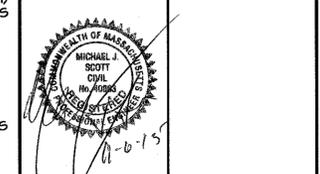


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**UTILITY NOTES:**

- SEE SHEET C0.00 FOR NOTES AND PLAN REFERENCES.
- LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND ARE APPROXIMATE AND ASSUMED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES THAT ARE NOT DEPICTED HEREON. BEFORE COMMENCING SITE WORK, CONTRACTOR SHALL CALL "DIG SAFE" AT 1-888-344-1233 (PER 220 CMR 94) AND LOCAL MUNICIPAL UTILITY DEPARTMENTS TO ACCURATELY LOCATE UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY APPROPRIATE UTILITY COMPANIES / DEPARTMENTS OF ANY UTILITIES DAMAGED DURING CONSTRUCTION. NO EXCAVATION SHALL BE PERFORMED UNTIL ALL UTILITY COMPANIES HAVE BEEN NOTIFIED. ANY COSTS RELATED TO THE REPAIR OF UTILITIES DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- CONTRACTOR SHALL OBTAIN PERMIT(S) FOR TRENCH EXCAVATION (PER 520 CMR 14).
- CONTRACTOR SHALL CONFIRM DEPTHS OF PERTINENT UTILITIES BY TEST PIT AND NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
- ALL ITEMS NOTED FOR REMOVAL AND DISPOSAL, AS WELL AS THOSE ITEMS DISCOVERED DURING EXCAVATION THAT REQUIRE REMOVAL AND REPLACEMENT, SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND MUST EITHER BE RECYCLED OR DISPOSED OFF SITE ACCORDING TO APPLICABLE REGULATIONS (310 CMR 7, 18 & 19 AND 453 CMR 6). CONTRACTOR IS RESPONSIBLE FOR OBTAINING NECESSARY PERMITS FOR DEMOLITION, HAULING AND DISPOSING OF SAID MATERIALS.
- ALL DRAIN PIPE SHALL BE SMOOTH WALL CORRUGATED POLYETHYLENE (CPE, TYPE S; AASHTO M252 OR M244), UNLESS OTHERWISE NOTED.
- ALL GRAVITY SEWER PIPE SHALL BE SDR 35 PVC (ASTM D3034) WITH WATERTIGHT INTEGRAL BELL GASKETED JOINT (ASTM D3212) AND ELASTOMERIC GASKET (ASTM F471), UNLESS OTHERWISE NOTED.
- ALL WATER MAIN PIPE AND FITTINGS SHALL BE ANWWA C900 WITH RUBBER GASKETED JOINTS (D3154 & F471), UNLESS OTHERWISE NOTED. ALL WATER SERVICES TO BE PRESSURE RATED PE OR COPPER AS REQUIRED/APPROVED BY SHREWSBURY WATER & SEWER. PROVIDE 5' MIN. COVER. ALL VALVES SHALL OPEN PER SHREWSBURY WATER & SEWER STANDARDS.
- WHERE 10' HORIZONTAL SEPARATION BETWEEN SEWER AND WATER MAINS CANNOT BE MAINTAINED, CROWN OF SEWER MAIN SHALL BE 18" BELOW BOTTOM OF WATER MAIN, IN ACCORDANCE WITH SECTION 9.1.2 OF MASS. DEP "GUIDELINES AND POLICIES FOR PUBLIC WATER SYSTEMS" (AS DEFINED IN 310 CMR 22.02).
- PROPOSED GAS, ELECTRIC, TELEPHONE AND CABLE (E.T.C) DEPICTED IS SCHEMATIC ONLY. CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES FOR FINAL PLANS AND SPECIFICATIONS.

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 625 South Street  
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TITLE:  
**UTILITIES PLAN (PHASE II)**  
**THE POINTE AT HILLS FARM**  
 Shrewsbury, MA (Worcester County)

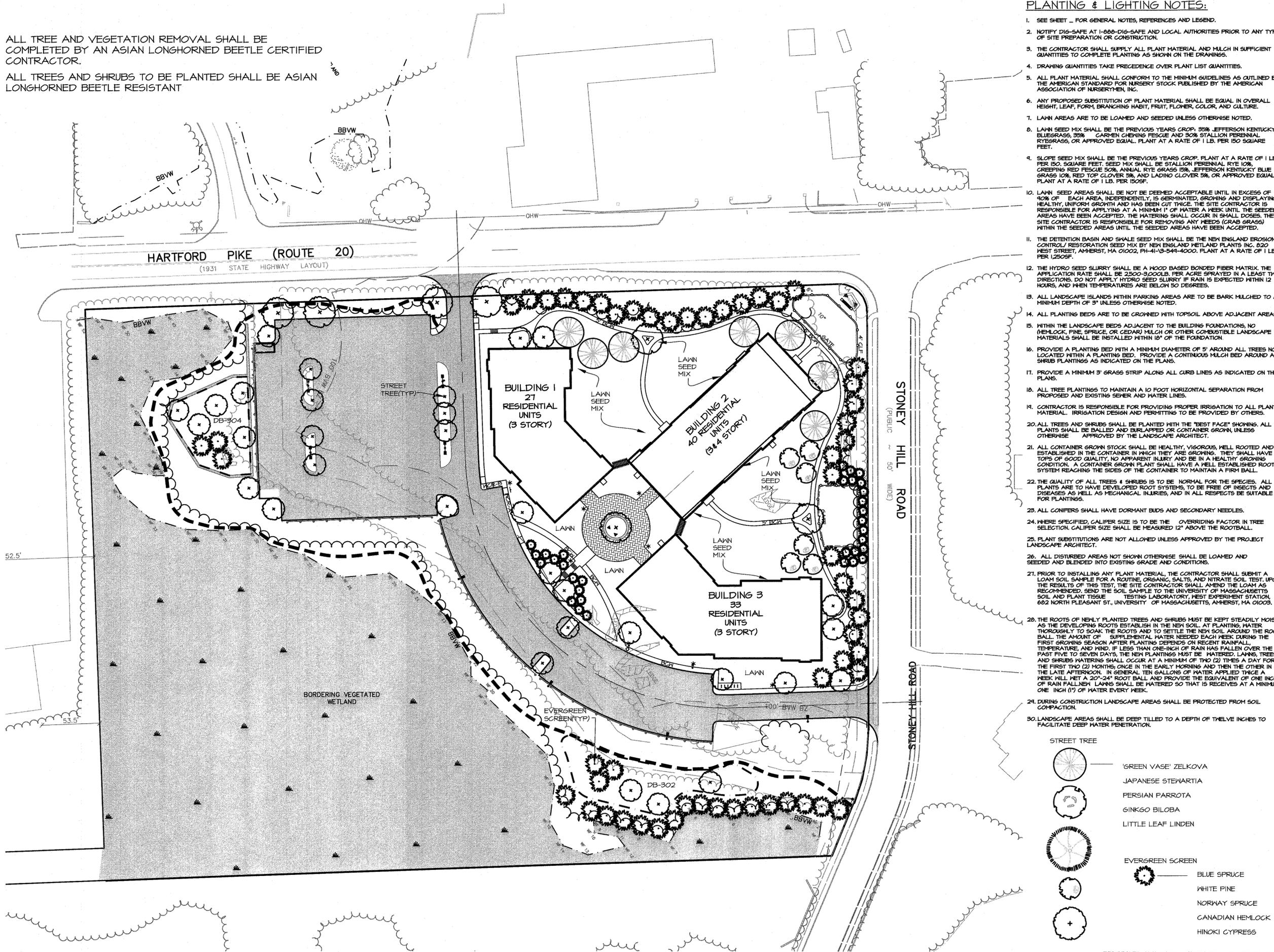
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DRAWING NO.:	0927304A	SHEET:	<b>C2.03</b>

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ALL TREE AND VEGETATION REMOVAL SHALL BE COMPLETED BY AN ASIAN LONGHORNED BEETLE CERTIFIED CONTRACTOR.

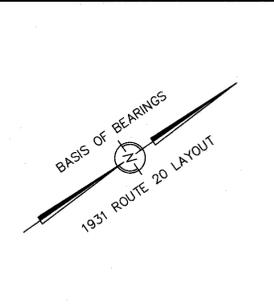
ALL TREES AND SHRUBS TO BE PLANTED SHALL BE ASIAN LONGHORNED BEETLE RESISTANT



**PLANTING & LIGHTING NOTES:**

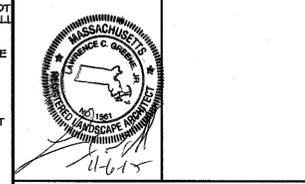
- SEE SHEET ... FOR GENERAL NOTES, REFERENCES AND LEGEND.
- NOTIFY DIG-SAFE AT 1-888-DIG-SAFE AND LOCAL AUTHORITIES PRIOR TO ANY TYPE OF SITE PREPARATION OR CONSTRUCTION.
- THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL AND MULCH IN SUFFICIENT QUANTITIES TO COMPLETE PLANTING AS SHOWN ON THE DRAWINGS.
- DRAWING QUANTITIES TAKE PRECEDENCE OVER PLANT LIST QUANTITIES.
- ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES AS OUTLINED BY THE AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- ANY PROPOSED SUBSTITUTION OF PLANT MATERIAL SHALL BE EQUAL IN OVERALL HEIGHT, LEAF, FORM, BRANCHING HABIT, FRUIT, FLOWER, COLOR, AND CULTURE.
- LAWN AREAS ARE TO BE LOAMED AND SEEDED UNLESS OTHERWISE NOTED.
- LAWN SEED MIX SHALL BE THE PREVIOUS YEARS CROP, 95% JEFFERSON KENTUCKY BLUEGRASS, 3% CARIKEN CHEWING FESCUE AND 3% STALLION PERENNIAL RYEGRASS, OR APPROVED EQUAL PLANT AT A RATE OF 1 LB. PER 150 SQUARE FEET.
- SLOPE SEED MIX SHALL BE THE PREVIOUS YEARS CROP, PLANT AT A RATE OF 1 LB. PER 150 SQUARE FEET. SEED MIX SHALL BE STALLION PERENNIAL RYE 10%, CREEPING RED FESCUE 50%, ANNUAL RYE GRASS 15%, JEFFERSON KENTUCKY BLUE GRASS 10%, RED TOP CLOVER 5%, AND LADINO CLOVER 5%, OR APPROVED EQUAL PLANT AT A RATE OF 1 LB. PER 150SF.
- LAWN SEED AREAS SHALL BE NOT BE DEEMED ACCEPTABLE UNTIL IN EXCESS OF 10% OF EACH AREA, INDEPENDENTLY, IS GERMINATED, GROWING AND DISPLAYING HEALTHY, UNIFORM GROWTH AND HAS BEEN CUT TWICE. THE SITE CONTRACTOR IS RESPONSIBLE FOR APPLYING AT A MINIMUM 1" OF WATER A WEEK UNTIL THE SEEDED AREAS HAVE BEEN ACCEPTED. THE WATERING SHALL OCCUR IN SMALL DOSES. THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY WEEDS (GRAB GRASS) WITHIN THE SEEDED AREAS UNTIL THE SEEDED AREAS HAVE BEEN ACCEPTED.
- THE DETENTION BASIN AND SHALE SEED MIX SHALL BE THE NEW ENGLAND EROSION CONTROL/ RESTORATION SEED MIX BY NEW ENGLAND WETLAND PLANTS INC. 820 WEST STREET, AMHERST, MA 01002, PH-413-544-4000. PLANT AT A RATE OF 1 LB. PER 1,250SF.
- THE HYDRO SEED SLURRY SHALL BE A WOOD BASED BONDED FIBER MATRIX. THE APPLICATION RATE SHALL BE 2500-3000LB. PER ACRE SPRAYED IN A LEAST TWO DIRECTIONS. DO NOT APPLY HYDRO SEED SLURRY IF RAIN IS EXPECTED WITHIN 12 HOURS, AND WHEN TEMPERATURES ARE BELOW 50 DEGREES.
- ALL LANDSCAPE ISLANDS WITHIN PARKING AREAS ARE TO BE BARK MULCHED TO A MINIMUM DEPTH OF 3" UNLESS OTHERWISE NOTED.
- ALL PLANTING BEDS ARE TO BE CROWNED WITH TOPSOIL ABOVE ADJACENT AREAS.
- WITHIN THE LANDSCAPE BEDS ADJACENT TO THE BUILDING FOUNDATIONS, NO (HEMLOCK, PINE, SPRUCE, OR CEDAR) MULCH OR OTHER COMBUSTIBLE LANDSCAPE MATERIALS SHALL BE INSTALLED WITHIN 18" OF THE FOUNDATION.
- PROVIDE A PLANTING BED WITH A MINIMUM DIAMETER OF 5' AROUND ALL TREES NOT LOCATED WITHIN A PLANTING BED. PROVIDE A CONTINUOUS MULCH BED AROUND ALL SHRUB PLANTINGS AS INDICATED ON THE PLANS.
- PROVIDE A MINIMUM 3' GRASS STRIP ALONG ALL CURB LINES AS INDICATED ON THE PLANS.
- ALL TREE PLANTINGS TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION FROM PROPOSED AND EXISTING SEWER AND WATER LINES.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING PROPER IRRIGATION TO ALL PLANT MATERIAL. IRRIGATION DESIGN AND PERMITTING TO BE PROVIDED BY OTHERS.
- ALL TREES AND SHRUBS SHALL BE PLANTED WITH THE "BEST FACE" SHOWING. ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
- ALL CONTAINER GROWN STOCK SHALL BE HEALTHY, VIGOROUS, WELL ROOTED AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE GROWING. THEY SHALL HAVE TOPS OF GOOD QUALITY, NO APPARENT INJURY AND BE IN A HEALTHY GROWING CONDITION. A CONTAINER GROWN PLANT SHALL HAVE A WELL ESTABLISHED ROOT SYSTEM REACHING THE SIDES OF THE CONTAINER TO MAINTAIN A FIRM BALL.
- THE QUALITY OF ALL TREES & SHRUBS IS TO BE NORMAL FOR THE SPECIES. ALL PLANTS ARE TO HAVE DEVELOPED ROOT SYSTEMS, TO BE FREE OF INSECTS AND DISEASES AS WELL AS MECHANICAL INJURIES, AND IN ALL RESPECTS BE SUITABLE FOR PLANTINGS.
- ALL CONIFERS SHALL HAVE DORMANT BUDS AND SECONDARY NEEDLES.
- WHERE SPECIFIED, CALIPER SIZE IS TO BE THE OVERRIDING FACTOR IN TREE SELECTION. CALIPER SIZE SHALL BE MEASURED 12" ABOVE THE ROOTBALL.
- PLANT SUBSTITUTIONS ARE NOT ALLOWED UNLESS APPROVED BY THE PROJECT LANDSCAPE ARCHITECT.
- ALL DISTURBED AREAS NOT SHOWN OTHERWISE SHALL BE LOAMED AND SEEDED AND BLENDED INTO EXISTING GRADE AND CONDITIONS.
- PRIOR TO INSTALLING ANY PLANT MATERIAL, THE CONTRACTOR SHALL SUBMIT A LOAM SOIL SAMPLE FOR A ROUTINE, ORGANIC, SALTS, AND NITRATE SOIL TEST. UPON THE RESULTS OF THIS TEST, THE SITE CONTRACTOR SHALL AMEND THE LOAM AS RECOMMENDED. SEND THE SOIL SAMPLE TO THE UNIVERSITY OF MASSACHUSETTS SOIL AND PLANT TISSUE TESTING LABORATORY, NEST EXPERIMENT STATION, 682 NORTH PLEASANT ST., UNIVERSITY OF MASSACHUSETTS, AMHERST, MA 01003.
- THE ROOTS OF NEWLY PLANTED TREES AND SHRUBS MUST BE KEPT STEADILY MOIST, AS THE DEVELOPING ROOTS ESTABLISH IN THE NEW SOIL. AT PLANTING, WATER THOROUGHLY TO SOAK THE ROOTS AND TO SETTLE THE NEW SOIL AROUND THE ROOT BALL. THE AMOUNT OF SUPPLEMENTAL WATER NEEDED EACH WEEK DURING THE FIRST GROWING SEASON AFTER PLANTING DEPENDS ON RECENT RAINFALL, TEMPERATURE, AND WIND. IF LESS THAN ONE-INCH OF RAIN HAS FALLEN OVER THE PAST FIVE TO SEVEN DAYS, THE NEW PLANTINGS MUST BE WATERED. LAWNS, TREES, AND SHRUBS WATERING SHALL OCCUR AT A MINIMUM OF TWO (2) TIMES A DAY FOR THE FIRST TWO (2) MONTHS, ONCE IN THE EARLY MORNING AND THEN THE OTHER IN THE LATE AFTERNOON. IN GENERAL, TEN GALLONS OF WATER APPLIED TWICE A WEEK WILL NET A 20"-24" ROOT BALL AND PROVIDE THE EQUIVALENT OF ONE INCH OF RAIN FALLING. LAWNS SHALL BE WATERED SO THAT IT RECEIVES AT A MINIMUM ONE INCH (1") OF WATER EVERY WEEK.
- DURING CONSTRUCTION LANDSCAPE AREAS SHALL BE PROTECTED FROM SOIL COMPACTION.
- LANDSCAPE AREAS SHALL BE DEEP TILLED TO A DEPTH OF TWELVE INCHES TO FACILITATE DEEP WATER PENETRATION.

- STREET TREE**
- 'GREEN VASE' ZELKOVA
  - JAPANESE STEWARTIA
  - PERSIAN PARROTTA
  - GINKGO BILOBA
  - LITTLE LEAF LINDEN
  - EVERGREEN SCREEN
  - BLUE SPRUCE
  - WHITE PINE
  - NORWAY SPRUCE
  - CANADIAN HEMLOCK
  - HINOKI CYPRESS



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REV.	DATE	DESCRIPTION	INIT.
A		INITIAL ISSUE	



PREPARED BY:  
  
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 Westborough, MA 01581  
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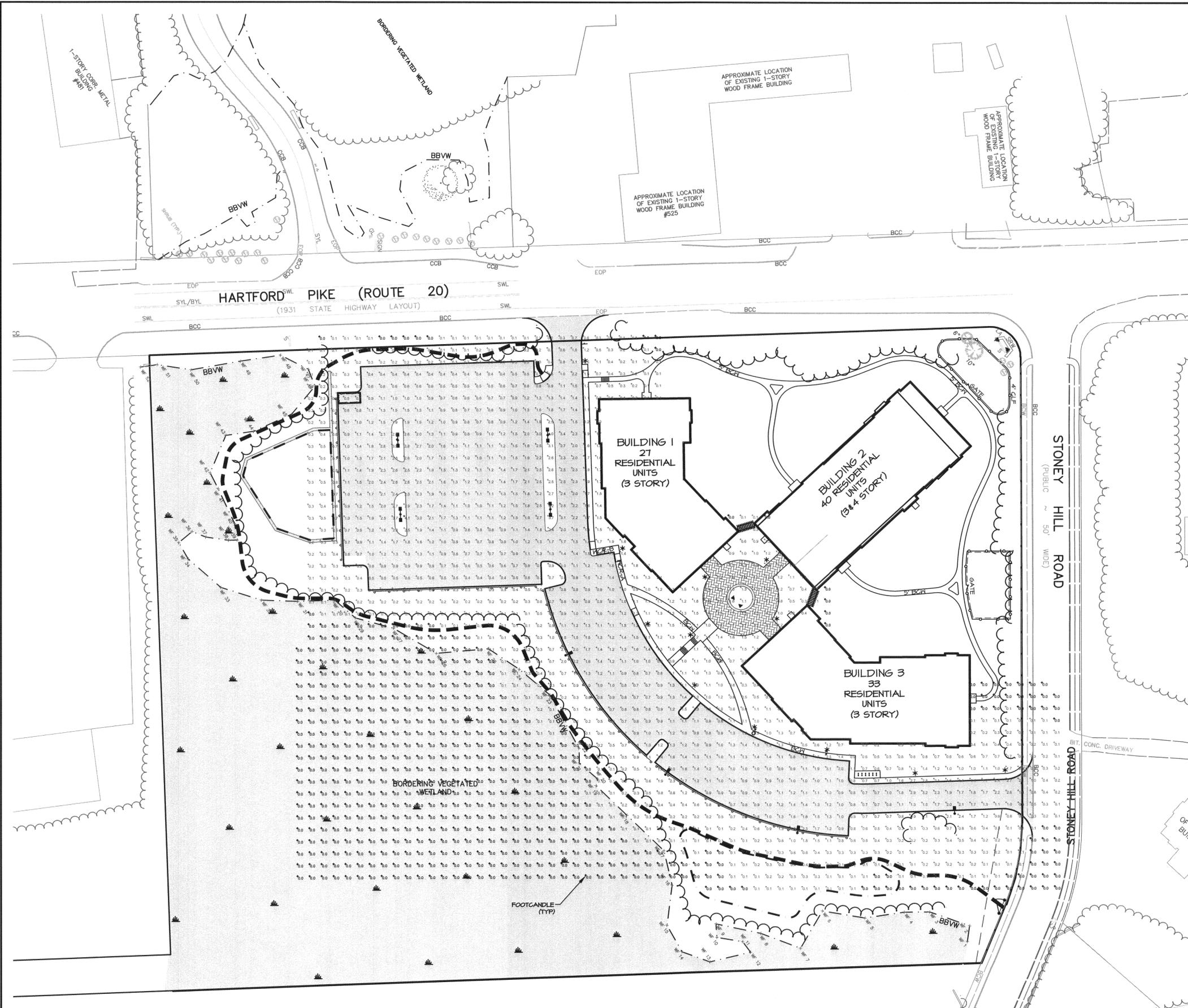
OWNER:  
**HARTFORD REALTY TRUST OF SHREWSBURY**  
 291 Grafton Street  
 Shrewsbury, MA

PREPARED FOR:  
**SMART GROWTH DESIGN, LLC**  
 625 South Street  
 Shrewsbury, MA 01545

TITLE:  
**PLANTING AND LIGHTING PLAN**  
**THE POINTE AT HILLS FARM**  
 Shrewsbury, MA (Worcester County)  
**COMPREHENSIVE PERMIT**

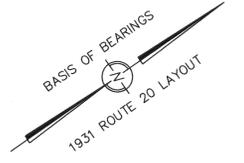
DATE:	11/06/15	SCALE:	1" = 40'
JOB NO.:	0927.02	DWN. BY:	
FILE NO.:	0927400	CHK'D. BY:	
DRAWING NO.:	0927403A	SHEET:	<b>C2.04</b>

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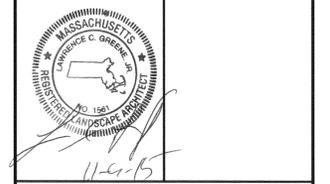
**PLAN NOTES:**

- SEE SHEET C0.00 FOR GENERAL NOTES, REFERENCES AND LEGEND.
- PHOTOMETRIC ANALYSIS PERFORMED BY HALOPHANE IN OCTOBER 2015.



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